

# REPORT TO COUNCIL



**Date:** August 31, 2012  
**To:** City Manager  
**From:** Land Use Management, Community Sustainability (JM)  
**Application:** DP12-0152 (amendment to DP10-0091)      **Owner:** Winsome Hill - Mission Group Properties Ltd.  
**Address:** 589 - 625 Boynton Place      **Applicant:** Mission Group Properties Ltd. (Luke Turri)  
**Subject:** Development Permit Application  
**Existing OCP Designation:** Multiple Unit Residential (medium density)  
**Existing Zone:** RM4 - Transitional Low Density Housing

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## 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP12-0152, being an amendment to Development Permit No. DP10-0091, for Lot 4, Sections 31 and 32, Township 26, ODYD, Plan KAP86216, Except Strata Plan EPS417 (Phase 1 and 2), located on 625 Boynton Place, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land, be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C".

## 2.0 Purpose

The applicant proposes to amend the original Development Permit (DP10-0091), which was issued in 2010, for a portion of the subject property. The changes involve adjustments to site layout, landscaping, unit type and density.

## 3.0 Land Use Management

Land Use Management staff are supportive of the proposed changes to the Winsome Hills townhouse development, as the proposal represents a minor alteration in response to perceived changes in market demand.

From a form and character perspective, the proposal will be consistent with the architectural detail, finishing and landscaping of the original approved Development Permit and with those portions of the development already completed. In addition, the density and building massing of the development are actually reduced through this proposal.

A handwritten signature in black ink, appearing to be a stylized 'W' or similar mark.

Finally, the proposal meets the applicable OCP design guidelines, featuring strong pedestrian connections, both internally and to surrounding streets, building massing that respects the surrounding area, and high quality building design, finishing and landscaping.

## 4.0 Proposal

### 4.1 Background

In 2010, the applicant received a Development Permit (DP10-0091) for the entirety of the subject property in order to develop 83 townhouse dwelling units in 17 buildings. Since that time, 18 dwellings have been completed, and a further 18 are under construction. The development is known as “Winsome Hills”.

On August 10, 2012, the proponent made a formal application to amend the original plan for a portion of the site (see attached site plan). This amendment includes the reconsideration of the site layout, unit type, landscaping and density.

The City holds adequate landscape bonding for the development in association with the original Development Permit.

### 4.2 Project Description

In response to perceived changes in market demand for unit size and layout, the applicant is seeking to make several changes to a portion of the site compared to what was approved in the original permit. Specifically, the applicant proposes to alter the site plan by removing four rows of townhouses containing a total of 28 three-level units, and replacing them with three rows of townhouses containing a total of 13 two-level units. Each of these units would contain a master bedroom on the main floor. This represents a reduction of 15 units, bringing the total unit count for the development to 68.

As rationale, the applicant states that “we expect that these additional walk-out units would appeal to many “empty-nesters”. The floor plans feature master bedrooms on the main floor, allowing for “one-level living”,” and that “we feel that these changes will add to the Winsome Hill community and surrounding neighbourhood by appealing to a broader demographic of residents. This diversity of housing choice helps to forward Kelowna’s community planning goals.”

While building footprint, unit count, building massing, and site layout will all change somewhat as a result of this proposal, the architectural character and finishing of the buildings will benefit from the same high level of finishing detail as is evident in those portions of the development already built, and will be consistent with the materials and colours of the original permit. In addition, building orientation and access are substantially similar to the original approval, with the only major change being the elimination of one drive aisle.

Landscaping as proposed is generally consistent in character with the original approval, though there may be a slight reduction in landscaping, due to the elimination of the drive aisle and associated streetscape.

### 4.3 Site Context

The subject 2.09ha property is located at the southwest corner of the intersection of Clifton Road and Boynton Place. The majority of the northern portion of the site is already under construction or built. The portion of the site subject to this application extends south from the centre of the site (see attached Site Plan).

The subject property is situated at the south end of a large, contiguous block of multi-unit development bounded by Knox Mountain Park on the west and Clifton Road on the east. Immediately north of the subject land is another townhouse development known as “Glen Valley”.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM4 - Transitional Low Density Housing	“Glen Valley” townhouse development
East	RR3 - Rural Residential 3	Low density single dwelling housing
South	RU1 - Large Lot Housing	Low density single dwelling housing
West	RM4 - Transitional Low Density Housing	Undeveloped

Subject Property Map: 625 Boynton Place



#### 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM4 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Site Area	900 m <sup>2</sup>	21,000 m <sup>2</sup>
Site Width	Exceeds	30.0 m
Site Depth	Exceeds	30.0 m
Site Coverage of Buildings	50%	34.81%
Site Coverage of Buildings, Driveways and Parking Areas	60%	52.86%

Development Regulations		
Floor Area Ratio	0.65	0.53
Total Floor Area	13,650 m <sup>2</sup>	9,083 m <sup>2</sup>
Unit Count	-	68
Height	3 storeys / 13.0 m	3 storeys / 12.0 m
Front Yard	4.5 m	4.5 m
Side Yard (east)	4.5 m	4.5 m
Side Yard (west)	2.3 m	4.5 m
Rear Yard	7.5 m	exceeds
Other Regulations		
Minimum Parking Requirements	146	146
Bicycle Parking	34 Class I 7 Class II	34 Class I (within garages) 7 Class II
Private Open Space	25.0 m <sup>2</sup> per dwelling	60.6 m <sup>2</sup> per dwelling
Drive Aisle Width	7.0 m	7.0 m

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Urban Design Development Permit Objectives<sup>1</sup>

- Convey a strong sense of authenticity through urban design that is distinctive for Kelowna;
- Promote a high urban design standard and quality of construction for future development that is coordinated with existing structures;
- Integrate new development with existing site conditions and preserve the character amenities of the surrounding area;
- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages;
- Provide for a scale and massing of commercial buildings that promotes a safe, enjoyable living, pedestrian, working, shopping and service experience;
- Incorporate architectural features and detailing of buildings and landscapes that define an area's character;
- Promote alternative transportation with enhanced streetscapes and multimodal linkages;
- Highlight the significance of community institutional and heritage buildings; and
- Protect and restore the urban ecology (i.e. architectural and site consideration with respect to the ecological impact on urban design).
- Moderate urban water demand in the City so that adequate water supply is reserved for agriculture and for natural ecosystem processes.
- Reduce outdoor water use in new or renovated landscape areas in the City by a target of 30%, when compared to 2007.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

No comment.

<sup>1</sup> City of Kelowna Official Community Plan, Chapter 14 (Urban Design DP Guidelines), pg. 14.2.

## 6.2 Development Engineering Department

No concerns.

## 6.3 Fire Department

Fire department access, fire flows, and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw #7900. The Subdivision Bylaw requires a minimum of 150ltr/sec flow. No parking signs are to be installed along all the access roads.

## 6.4 Infrastructure Planning

The City of Kelowna Boulevard Maintenance By-Law No. 5708-84 requires the property owner (e.g. future strata) to be responsible to weed, water and mow the boulevards adjacent to their properties (e.g. Clifton Road). They will also be responsible for maintaining the boulevard in a reasonably tidy condition, free and clear of garbage, litter or debris.

## 6.5 FortisBC - electric

No concerns with the proposal subject to any changes to this application which would require further review and comment by Fortis.

Prior to final approval of this application, the applicants must contact FortisBC at 1-866-436-7847 and quote their file DP12-0152 to initiate all necessary arrangements for electrical service requirements with this proposal. It is the developer's responsibility to ensure that all of FortisBC's requirements including construction fees and any SRWs that may be required for this proposal, have been addressed prior to receiving final approval.

## 6.6 FortisBC Energy - gas

FortisBC has no objection to the application for purposes of amending DP10-0091 to change the site plan, unit count and building types.

## 6.7 Telus


TELUS will provide underground facilities to this development. Developer will be required to supply and install conduit as per TELUS policy.

## 7.0 Application Chronology

Date of Application Received: August 10, 2012

Final Drawings Received: August 30, 2012

Report prepared by:



James Moore, Land Use Planner

Reviewed by:



Danielle Noble Manager, Manager, Urban Land Use

Approved for Inclusion:



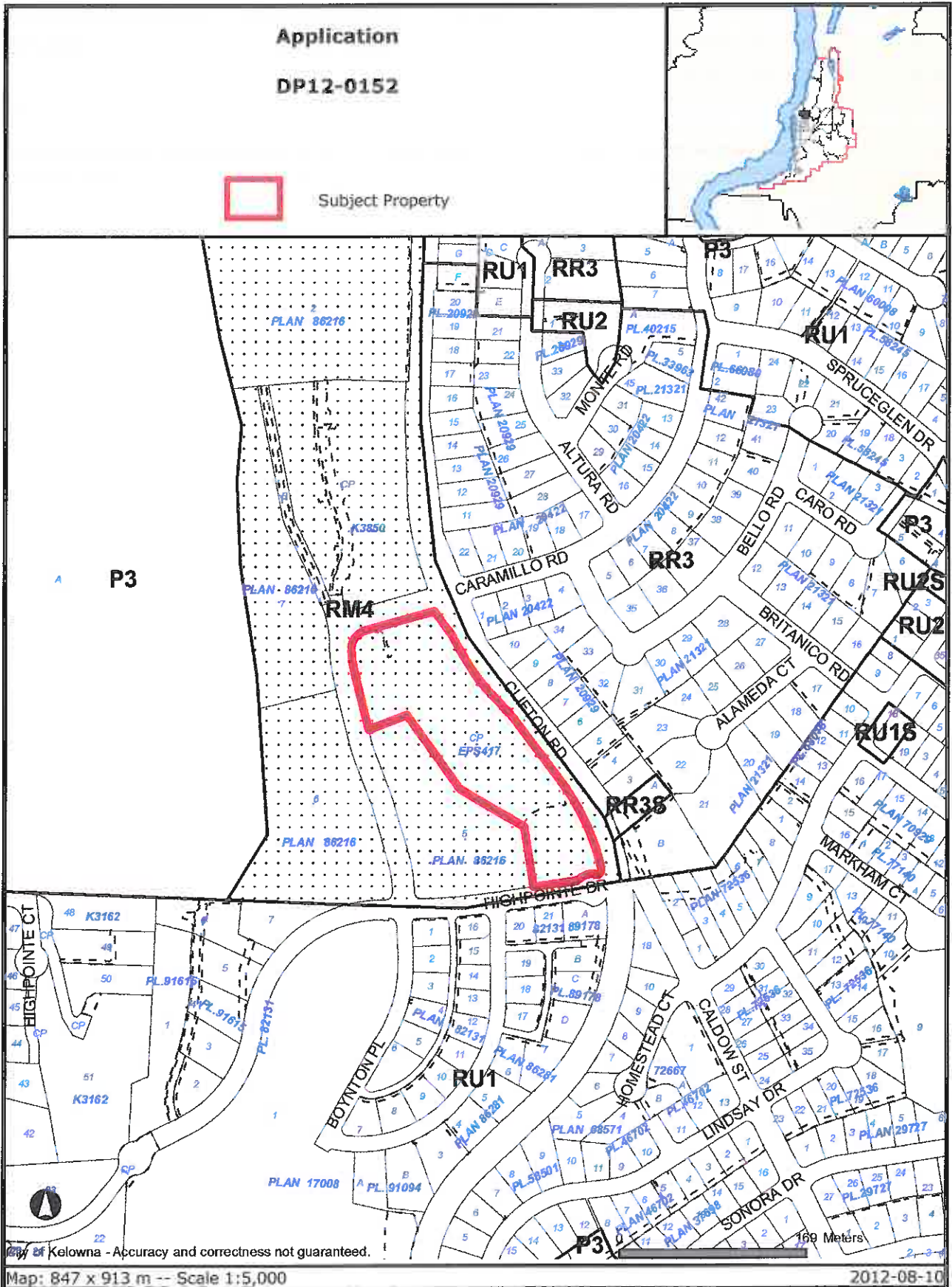
Shelley Gambacort, Director, Land Use Management

**Attachments:**

Subject Property Map

DRAFT Development Permit

- Schedule 'A' - Building Siting and Dimensions
- Schedule 'B' - Exterior Design and Finishing
- Schedule 'C' - Landscaping



City of Kelowna - Accuracy and correctness not guaranteed.

Map: 847 x 913 m -- Scale 1:5,000

2012-08-10

Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

# CITY OF KELOWNA

## APPROVED ISSUANCE OF A:

Development Permit No.: DP12-0152 (Amendment of DP10-0091)

EXISTING ZONING DESIGNATION: RM4 - Transitional Low Density Housing  
WITHIN DEVELOPMENT PERMIT AREA: Comprehensive Development Permit (Multiple Unit Residential)

ISSUED TO: Winsome Hill - Mission Group Properties Ltd.

LOCATION OF SUBJECT SITE: 625 Boynton Place

	LOT	D.L.	PLAN	SECTIONS	TOWNSHIP	DISTRICT
LEGAL DESCRIPTION:	4	-	KAP86216, Except Strata Plan EPS417 (phase 1 & 2)	31 & 32	26	ODYD

### SCOPE OF APPROVAL

- This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.
- This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.
- Applicants for Development and Development Variance Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.

### 1. TERMS AND CONDITIONS:

- 1) The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
  - 2) The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
  - 3) Landscaping to be provided on the land be in general accordance with Schedule "C".
2. The development shall commence by and in accordance with an approved Building Permit within ONE YEAR of the date of the issuance by Council.



3. PERFORMANCE SECURITY:

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development Permitted by this Permit within the time set out above, the security shall be returned to the Permittee. There is filed accordingly:

- (a) Cash in the amount of \$ \_\_\_\_\_ N/A \_\_\_\_\_.
- (b) A Certified Cheque in the amount of \$ \_\_\_\_\_ (see DP10-0091) \_\_\_\_\_.
- (c) An Irrevocable Letter of Credit in the amount of \$ \_\_\_\_\_ N/A \_\_\_\_\_.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. DEVELOPMENT:

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development permitted by this Permit within one year of the date of this Permit, this Permit shall lapse.

This Permit is not transferable unless specifically permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

**THIS Permit IS NOT A BUILDING Permit.**

5. APPLICANT'S AGREEMENT:

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit or Development Variance Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Director of Land Use Management.

Should there be any change in ownership or legal description of the property, I undertake to notify the Land Use Management Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

\_\_\_\_\_  
Signature of Owner/Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name in Bold Letters

\_\_\_\_\_  
Telephone No.

5. APPROVALS:

AUTHORIZING RESOLUTION PASSED BY MUNICIPAL COUNCIL THE \_\_\_\_ DAY OF SEPTEMBER, 2012.

ISSUED BY THE LAND USE MANAGEMENT DEPARTMENT OF THE CITY OF KELOWNA THE \_\_\_\_ DAY OF SEPTEMBER, 2012, BY THE DIRECTOR OF LAND USE MANAGEMENT.

\_\_\_\_\_  
Shelley Gambacort  
Director of Land Use Management



**SCHEDULE A**  
 This forms part of development  
 Permit # DP12-0152 *Cambridge DP10-0091*

**SK-1.0**



Site Plan  
 August 07, 2010  
 1" = 50'

Wimsome Hill  
 Townhome Community  
 Boynton Place,  
 Kelowna, B.C.  
 for  
 Mission Group

**RAMONDI LITVEMAN**  
 ARCHITECT  
 1111 10th Street, Kelowna, B.C. V1Y 1A1  
 TEL: 250.860.1234 FAX: 250.860.1235  
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 written permission of Ramondi Litveman  
 Architects.

June 06, 2010  
 Issued for Development Permit  
 August 07, 2010  
 Revised for Development Permit



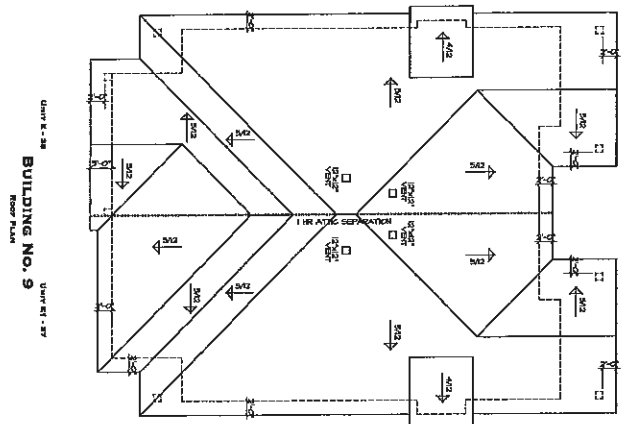
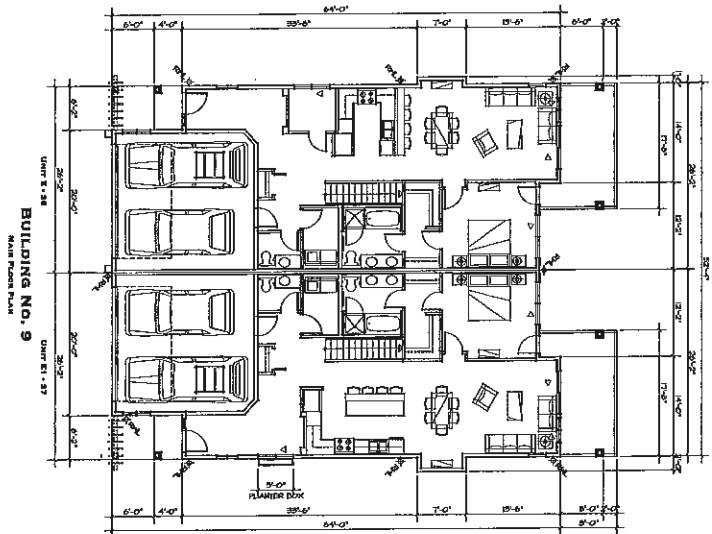
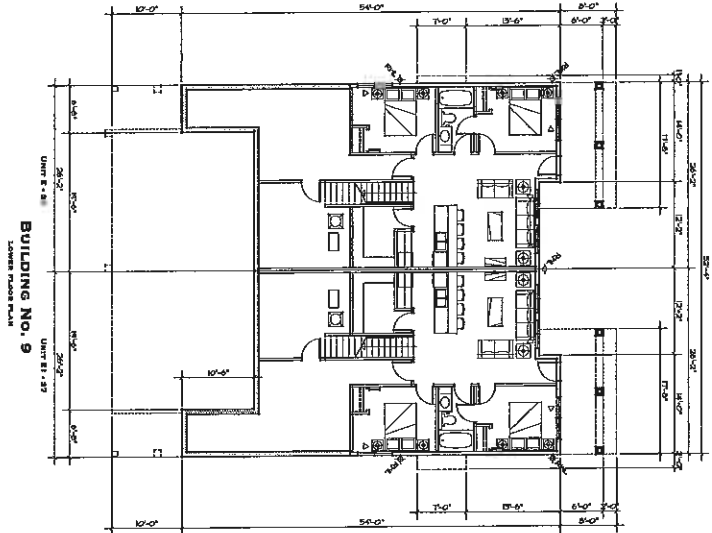


**RAYMOND LICKMANN**

200211 Main St., Vancouver, BC, V6P 2C4  
Tel: 604.271.1111  
Fax: 604.271.1112  
www.raymondlickmann.com

Project: Mission Group  
Building 9  
Floor Plans  
August 27, 2010

**Winsome Hill**  
Townhome Community  
Boytown Place,  
Kelowna, B.C.  
for  
Mission Group

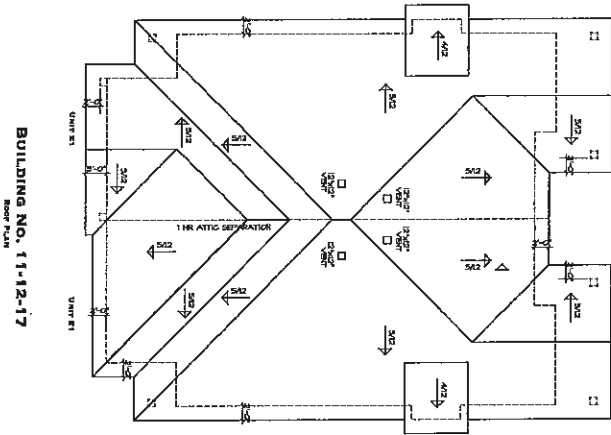
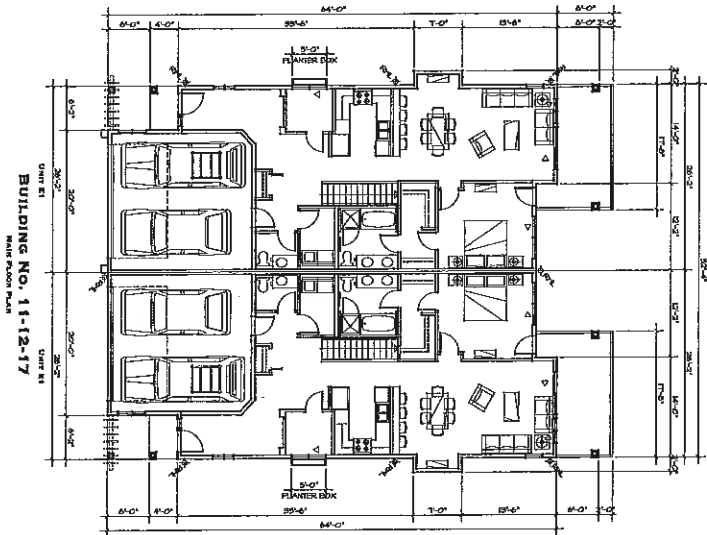
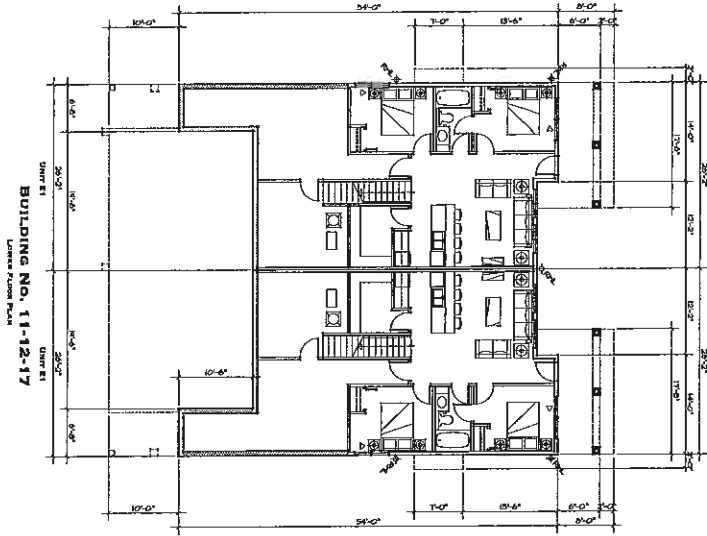


Building 9  
Floor Plans  
August 27, 2010  
1/8" = 1'-0"

**SK-3.18**

**SCHEDULE A**  
This forms part of development  
Permit # 0010-0091 (including  
Dp10-0091)





**RAYMOND LERKEMAN**  
 25400 15th St. NW  
 Kent, WA 98032  
 Tel: (206) 437-2287 Fax: (206) 437-2281

Owner: As shown, required. Professional engineer and architect to be retained by the owner and to be responsible for the design and construction of the project. The architect shall be responsible for the design and construction of the project. The engineer shall be responsible for the design and construction of the project.

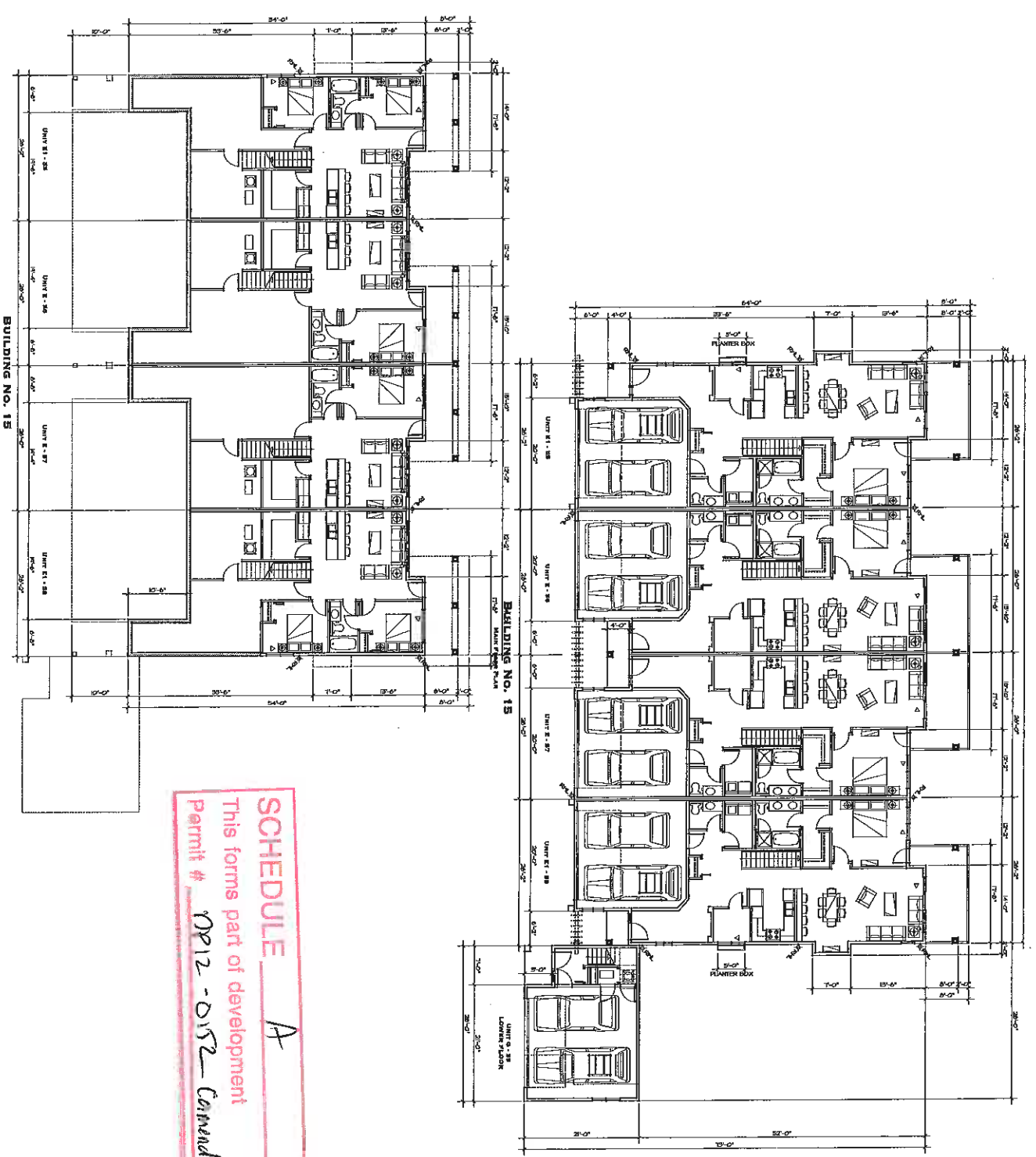
Project:  
 June 01, 2010  
 25400 15th St. NW  
 August 07, 2012  
 (Revised for Development Permit)

for  
 Mission Group  
 Winesome Hill  
 Townhome Community  
 Boynton Place,  
 Kelowna, B.C.

Building 11, 12, 17  
 Floor Plans  
 August 07, 2010  
 1/8" = 1'-0"

SK-3.22

**SCHEDULE A**  
 This forms part of development  
 Permit # DR12-0152 (amending DR10-0091)



BUILDING NO. 15

BUILDING NO. 15  
MAIN FLOOR PLAN

**SCHEDULE A**  
This forms part of development  
Permit # DP12-0152-Camendin

DP12-0152-Camendin

SK-3.27

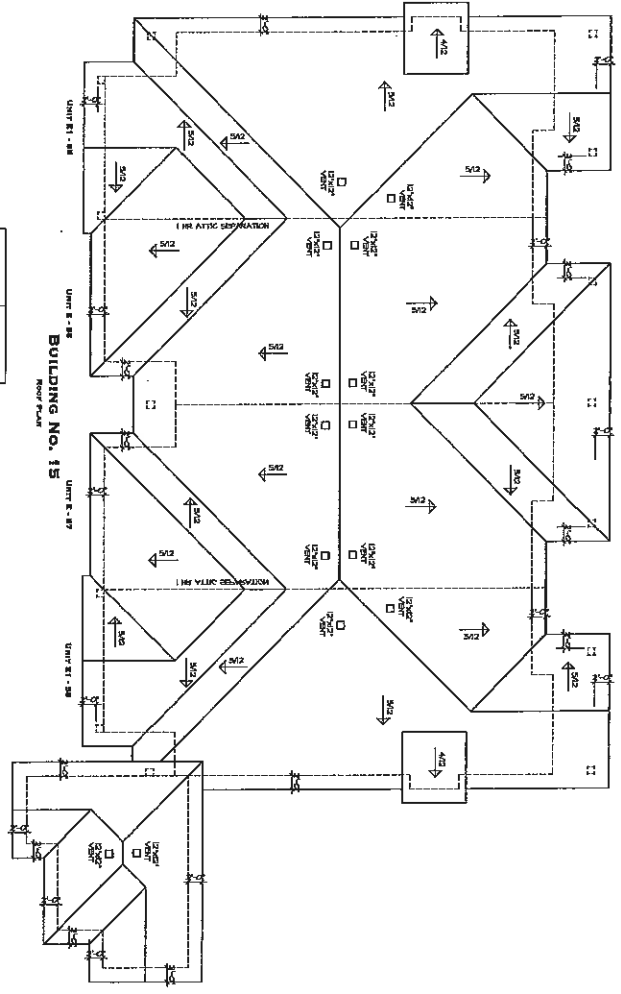
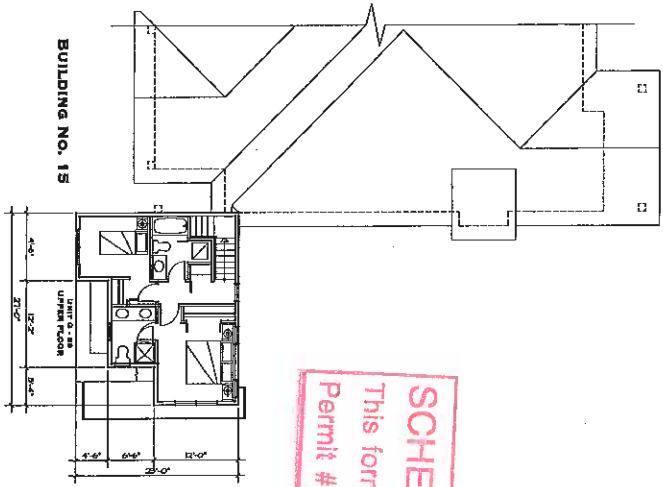
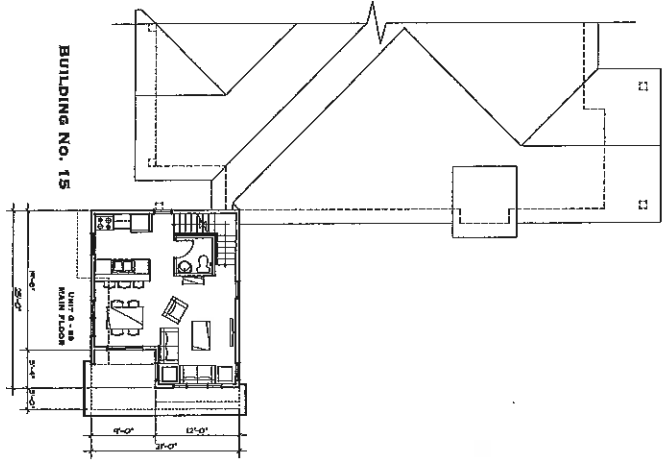
Building 15  
Floor Plans  
AUGUST 07, 2010  
1/8" = 1'-0"

Winsome Hill  
Townhome Community  
Boynton Place,  
Kelowna, B.C.  
By  
Mission Group

**RAYMOND LETEMAN**  
Professional Engineer  
No. 212 Street St. Vancouver, B.C. V6B 1Y1  
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Author:  
June 06, 2010  
Mission Group  
Architect of Record  
August 07, 2012  
Architect of Record





**SCHEDULE A**  
 This forms part of development  
 Permit # OP12-0152 (amended DP10-0091)

**RAYMOND LETEMAN**  
 ARCHITECT  
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 TEL: 250.860.1818 FAX: 250.860.1817  
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Wimsome Hill  
 Townhome Community  
 Bayshore Place,  
 Kelowna, B.C.  
 for  
 Mission Group

Building 15  
 Floor Plans  
 AUGUST 07, 2010  
 1/8" = 1'-0"

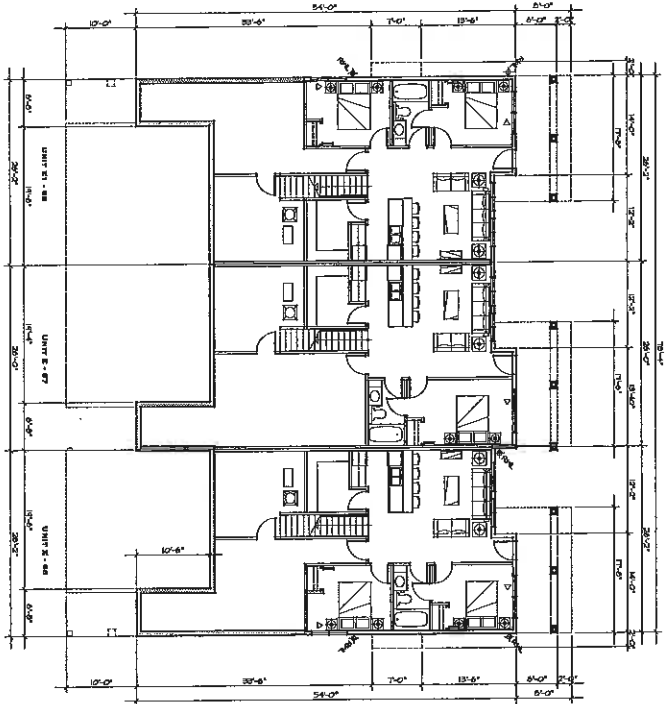
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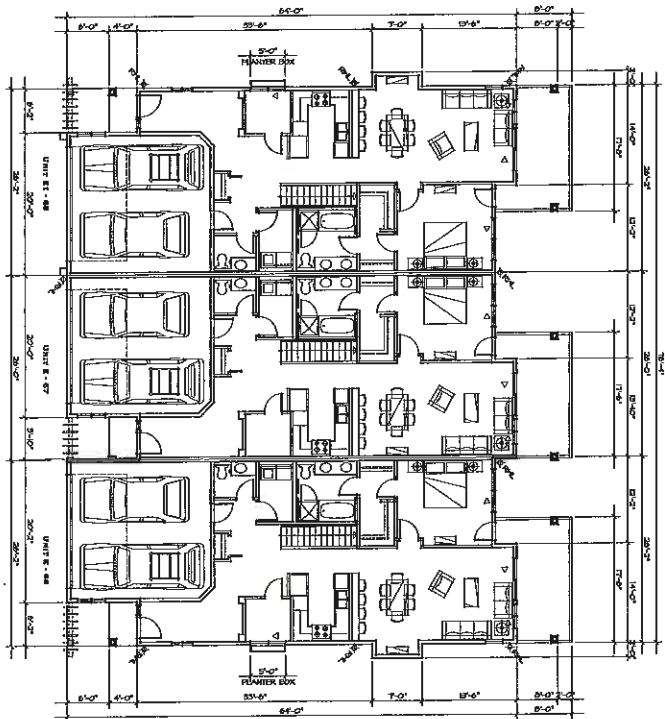
**RAYMOND LETREMMAN**  
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700 S. 102nd Avenue, Suite 100  
Baltimore, MD 21286

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Issue:  
Issue No. 2010  
Issued for Development Permit  
Revised 02/2010  
Revised for Development Permit  
Revised for Development Permit



**BUILDING NO. 18**  
LOWER FLOOR PLAN



**BUILDING NO. 18**  
MAIN FLOOR PLAN

**Winsome Hill**  
Townhome Community  
Boynton Place  
Kettering, S.C.  
for  
Mission Group

Building 18  
Floor Plans  
AUGUST 07, 2010  
1/8" = 1'-0"

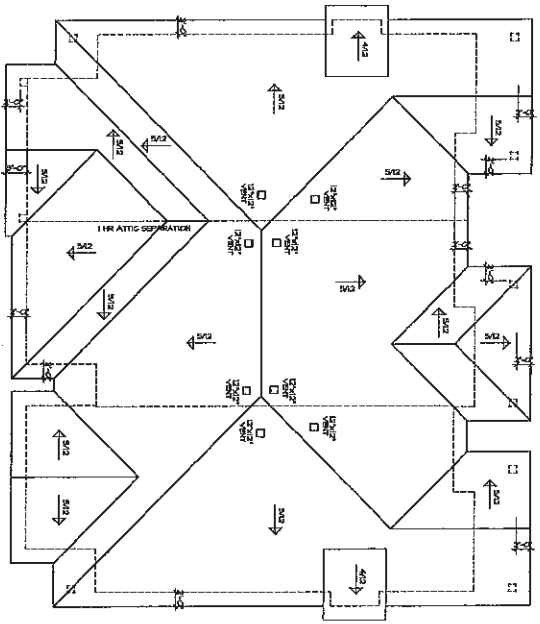
**SK-3.30**

**SCHEDULE A**  
This forms part of development  
Permit # DP12-0152 Amending  
DP10-00411



**RAMMOND LITKEMAN**  
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 WWW: WWW.RAMMONDLITKEMAN.COM

Revised  
 June 09, 2010  
 Issued for Development Permit  
 August 07, 2012  
 Prepared for Development Permit



**BUILDING No. 18**  
 Floor Plans

**Winsome Hill**  
 Townhome Community  
 Boylston Place,  
 Kelowna, B.C.  
 for  
 Mission Group

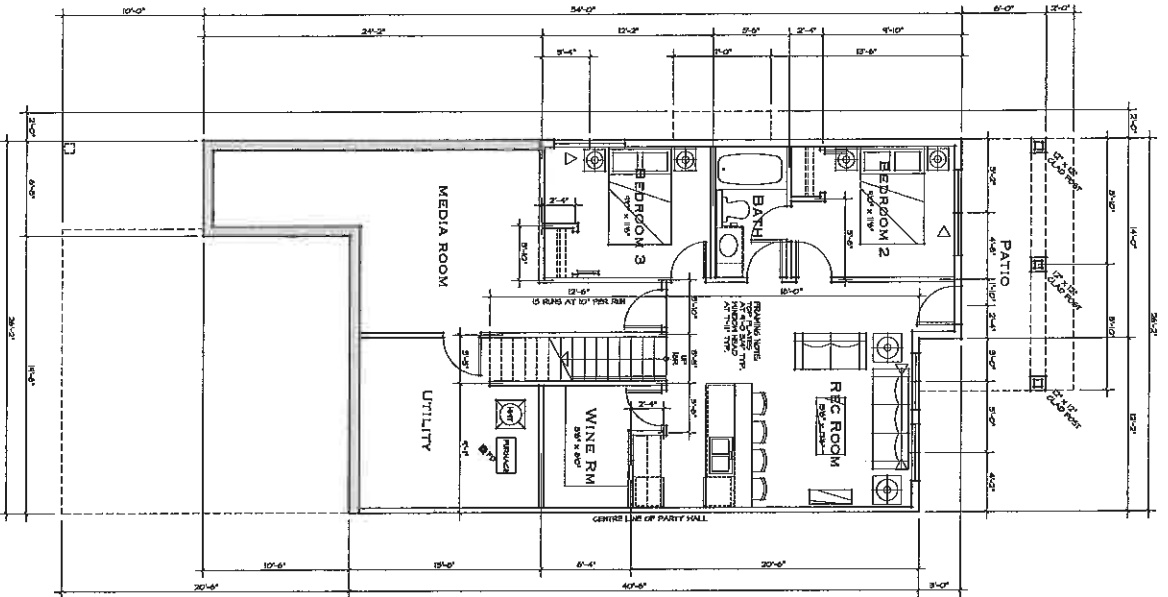
Building 18  
 Floor Plans  
 August 07, 2010  
 1/8" = 1'-0"

**SCHEDULE A**  
 This forms part of development  
 Permit # DP12-0152 (amending)

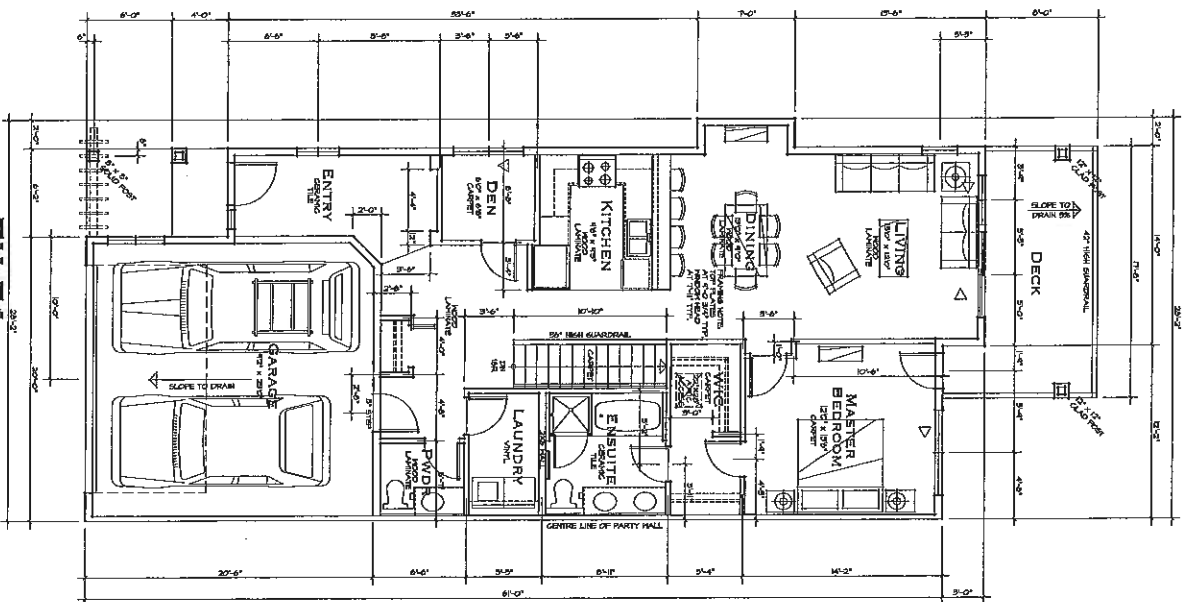
DP10-00915

**SK-3.31**





**THE 1**  
LOWER FLOOR  
NOMINAL GROSS AREA: 1371 sq ft  
TOTAL EXISTING AREA: 1371 sq ft



**THE 1**  
MAIN FLOOR  
NOMINAL GROSS AREA: 1371 sq ft  
TOTAL AREA: 2742 sq ft

**SCHEDULE A**

This forms part of development

Permit # DP12-0152 (amending DP10-004)



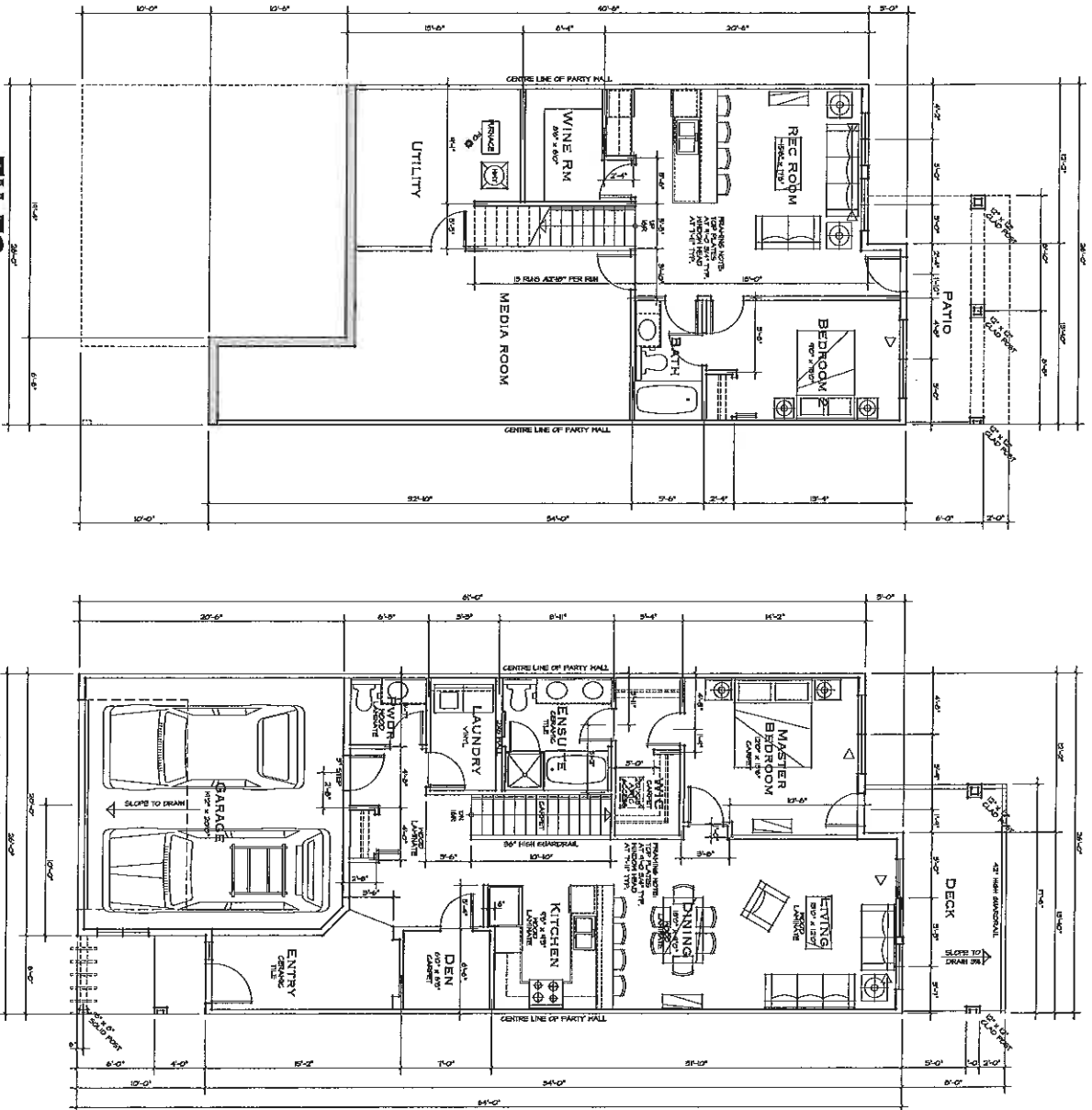
**RAYMOND LETKEMAN**  
1000 10th Street  
Kelowna, BC V1Y 9V7  
Tel: 250-860-1122 Fax: 250-860-1123

June 09, 2010  
Issued to Development Permit  
August 07, 2012  
Resubmitted to Development Permit

**Winsome Hill**  
Townhome Community  
Boynton Place,  
Kelowna, B.C.  
for  
Mission Group

Type E1 Unit  
Floor Plans  
August 27, 2010  
1/4" = 1'-0"

**SK-4.16**



**TH E2**  
**LOWER FLOOR**  
 TOTAL FLOOR AREA: 1,000 SF  
 TOTAL BASEMENT AREA: 1,044 SF

**TH E2**  
**MAIN FLOOR**  
 TOTAL FLOOR AREA: 1,044 SF  
 TOTAL BASEMENT AREA: 1,044 SF

**SCHEDULE A**  
 This forms part of development  
 Permit # DP12-0152 (Landscape DP10-0091)

DP10-0091

**SK-4.17**

Winsome Hill  
 Townhome Community  
 Baymont Place  
 Kelowna, B.C.  
 by Mission Group

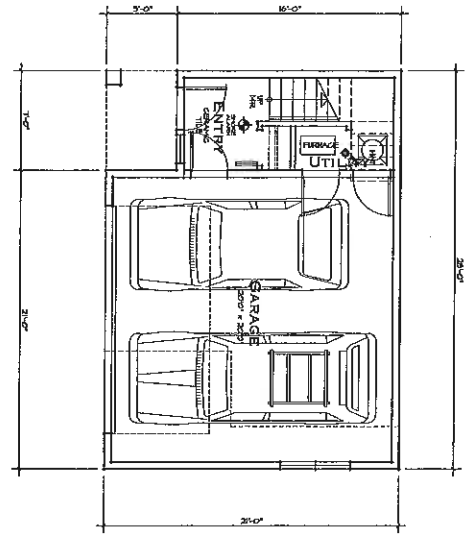
**RAMONDI LITKEMAN**  
 ARCHITECT  
 1100 - 11th Street, Kelowna, BC V1Y 1A1  
 TEL: 250-860-1111 FAX: 250-860-1112  
 WWW.RAMONDIARCHITECTURE.COM  
 2012  
 Issued for Development Permit  
 August 07, 2012  
 Prepared for Development Permit



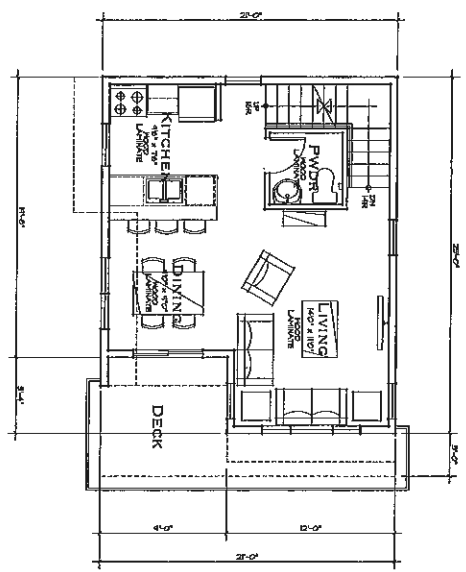
**RAYMOND LETCHMAN**  
P. 250.724.1100 F. 250.724.1101  
1200 12th Street, Kelowna, BC V1Y 9S7

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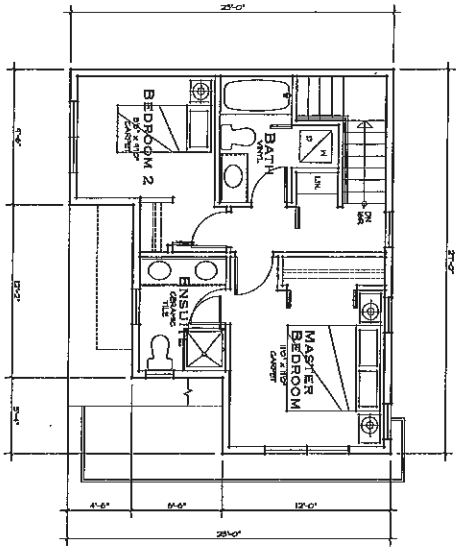
Revised:  
April 06, 2010  
Issued for Development Permit  
August 07, 2012  
Revised for Development Permit



**TH G**  
**LOWER FLOOR**  
SPTL AREA: 63.12  
TOTAL FLOOR AREA: 289.87  
TOWNSHIP AREA: 1279.94



**TH G**  
**MAIN FLOOR**  
AREA: 411.57



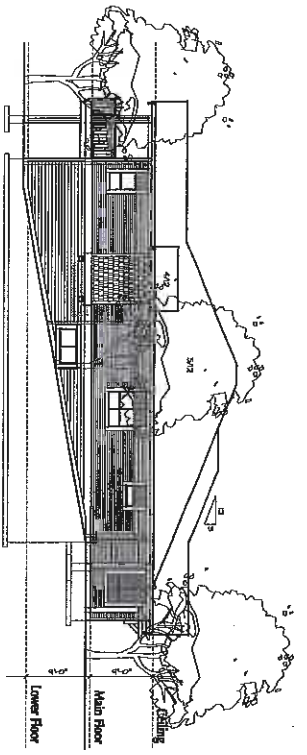
**TH G**  
**UPPER FLOOR**  
AREA: 307.87

**Winsome Hill**  
Townhome Community  
Boyton Place  
Kelowna, B.C.  
for  
Mission Group

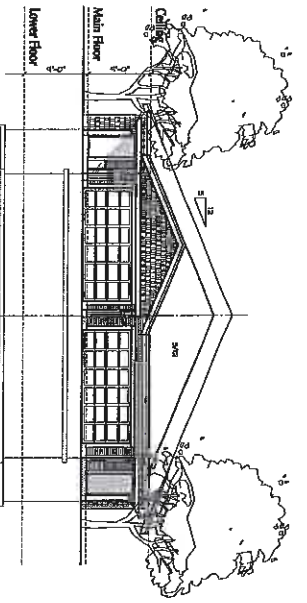
Type G Unit  
Floor Plans  
AUGUST 07, 2010  
1/8" = 1'-0"

**SCHEDULE A**  
This forms part of development  
Permit # DP12-0152 (amending DP10-0091)

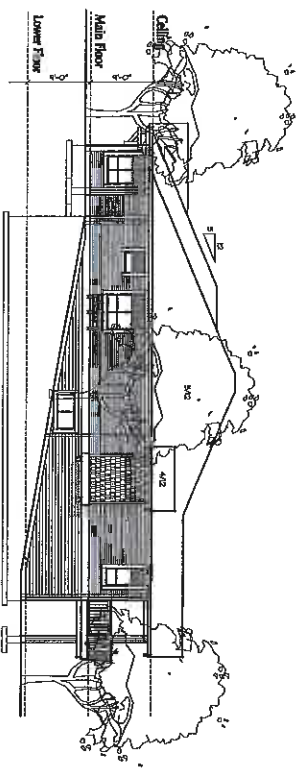
**SK-4.23**



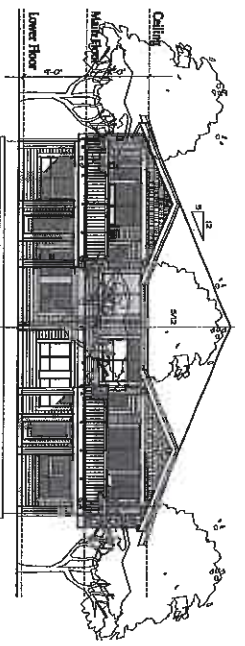
Side (East) Elevation  
Building 9



Front (North) Elevation  
Building 9



Side (West) Elevation  
Building 9



Rear (South) Elevation  
Building 9

Exterior Finish Legend - Colour Scheme 1

① Roof	Asphalt Roof Shingles	Refer to Mission Group Exterior Specifications	④ Windows	Double Glazing Set in Vinyl Frames	Refer to Mission Group Exterior Specifications	⑩ Entry Door	Insulated Metal Clad, Painted	Refer to Mission Group Exterior Specifications
② Cable Fascias	1 x 4 on 2x 10 Huddle Trims, Hardie Colour Plus	Refer to Mission Group Exterior Specifications	⑤ Balcony Railing	Aluminium, Baked Enamel Finish	Refer to Mission Group Exterior Specifications	⑪ Lower Floor Siding	Hardie Siding, 8" Exposure	Refer to Mission Group Exterior Specifications
③ Sove Veneer	Coloured Sove Veneer	Refer to Mission Group Exterior Specifications	⑥ Window / Door Trims	Hardie Trim	Refer to Mission Group Exterior Specifications	⑫ Gables / R.W.L	Pre-finished Metal	Refer to Mission Group Exterior Specifications
④ Wall Shingles	Hardie Wall Shingles, 7" Exposure Hardie Colour Plus	Refer to Mission Group Exterior Specifications	⑦ Wall Siding	Hardie Siding, 3" Exposure	Refer to Mission Group Exterior Specifications	⑬ Roof Soffit	Aluminium Performed Soffit	Refer to Mission Group Exterior Specifications
⑤ Posts / Brackets / Raucos	Hardie, Mapped Dimensional Lumber Hardie Colour Plus	Refer to Mission Group Exterior Specifications	⑧ Metal Flashing	Pre-finished Metal	Refer to Mission Group Exterior Specifications	⑭ Barge Band	Hardie Trim	Refer to Mission Group Exterior Specifications
						⑮ Outside Corner Trim	1x4 Hardie Trims, Colour to Match Siding Colour	Refer to Mission Group Exterior Specifications

Winsome Hill  
Townhome Community  
Bayton Place  
Kelowna, B.C.  
for Mission Group

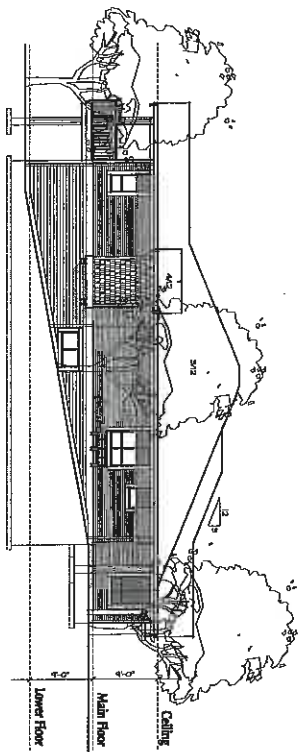
Building 9  
Building Elevations  
August 07, 2012  
1/8" = 1'-0"

**SCHEDULE B**  
This forms part of development  
Permit # DP12-0152 (amending DP10-0041)

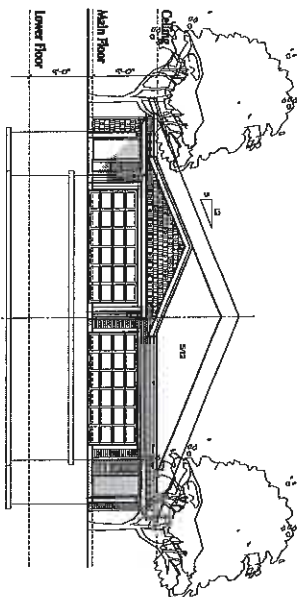
SK-3.19

**RAYMOND LETKEMAN**  
Architect  
4400 20th Street, Kelowna, BC V1Y 9V6  
Tel: 250.860.2222 Fax: 250.860.2222  
www.letkeman.com  
Developed by: Mission Group  
Designed by: Raymond Letkeman  
Drawn by: Raymond Letkeman  
Checked by: Raymond Letkeman  
Approved by: Raymond Letkeman  
August 07, 2012  
As Issued for Development Permit

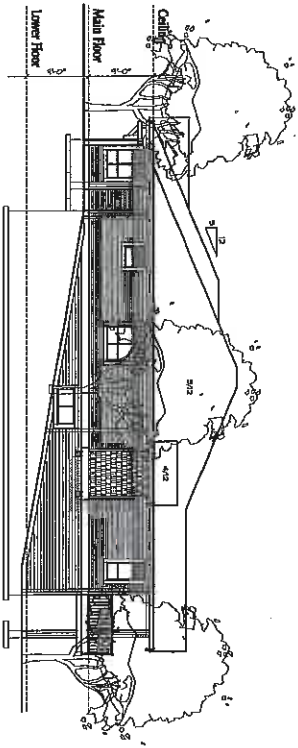




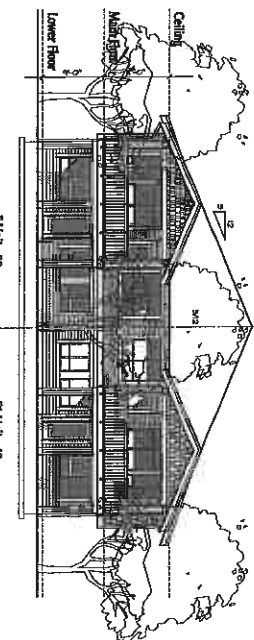
Side (East) Elevation  
Building 10



Front (North) Elevation  
Building 10



Side (West) Elevation  
Building 10



Rear (South) Elevation  
Building 10

## Exterior Finish Legend - Colour Scheme 2

① Roof	Asphalt Roof Shingles	Refer to Mission Group Exterior Specifications	② Windows	Double Glazing Set in Vinyl Frames	Refer to Mission Group Exterior Specifications
② Cable Facias	1 x 4 on 2" to Handle Trims, Hardie Colour Plus	Refer to Mission Group Exterior Specifications	③ Balcony Railings	Aluminum, Stained Enamel Finish	Refer to Mission Group Exterior Specifications
③ Stone Veneer	Cultured Stone Veneer	Refer to Mission Group Exterior Specifications	④ Window / Door Trims	Hardie Trim	Refer to Mission Group Exterior Specifications
④ Wall Shingles	Hardie Wall Shingles, 7' Exposure Hardie Colour Plus	Refer to Mission Group Exterior Specifications	⑤ Wall Siding	Hardie Siding, 3' Exposure	Refer to Mission Group Exterior Specifications
⑤ Roof / Brackets / Rafters	Hardie Wapport Dimensional Lumber Hardie Colour Plus	Refer to Mission Group Exterior Specifications	⑥ Metal Flashing	Pre-finished Metal	Refer to Mission Group Exterior Specifications
			⑦ Metal Flashing	Pre-finished Metal	Refer to Mission Group Exterior Specifications
			⑧ Entry Door	Insulated Metal Clad, Painted	Refer to Mission Group Exterior Specifications
			⑨ Lower Floor Siding	Hardie Siding, 6' Exposure	Refer to Mission Group Exterior Specifications
			⑩ Ceilings / R.V.L.	Pre-finished Metal	Refer to Mission Group Exterior Specifications
			⑪ Roof Soffit	Aluminum Perforated Soffit	Refer to Mission Group Exterior Specifications
			⑫ Bally Band	Hardie Trim	Refer to Mission Group Exterior Specifications
			⑬ Outside Corner Trim	1x4 Hardie Trim, Colour to Match Siding Colour	Refer to Mission Group Exterior Specifications

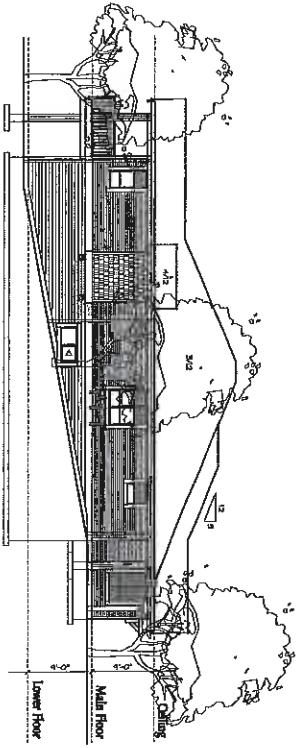
Building 10  
Building Elevations  
AUGUST 07, 2010  
1" = 1/8"

Winsome Hill  
Townhome Community  
Boynton Place,  
Kelowna, B.C.  
for  
Mission Group

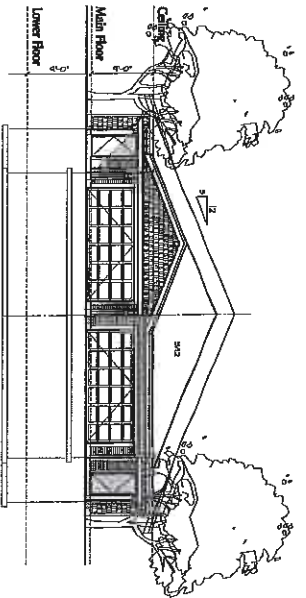
**RAMONDI LETKEMAN**  
ARCHITECTS INC.  
2004 215 JAMES ST. WILLOWDALE, ONTARIO  
M2H 1P7  
416-491-1111  
Copyright © 2010 RamonDI Letkeman Architects Inc. All rights reserved. This drawing is the property of RamonDI Letkeman Architects Inc. and is not to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RamonDI Letkeman Architects Inc.

Project: 100-210  
Drawing: 210-10  
Issued: 07/2010  
Prepared by: JPL  
Reviewed by: Development Permit

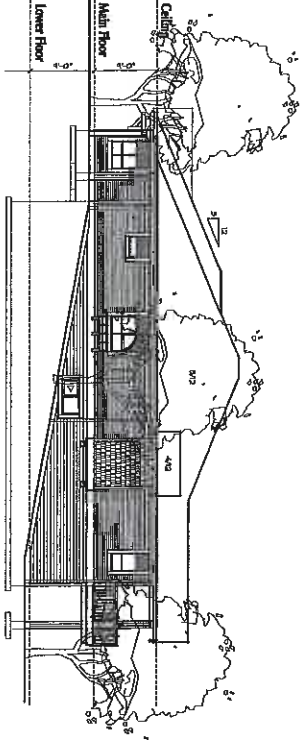
**SCHEDULE B**  
This forms part of development  
Permit # DP12-0152 (amending DP10-0041)



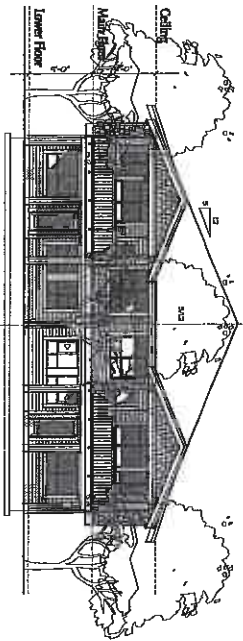
Side (East) Elevation  
Building 11-12-17



Front (North) Elevation  
Building 11-12-17



Side (West) Elevation  
Building 11-12-17



Rear (South) Elevation  
Building 11-12-17

Exterior Finish Legend - Colour Scheme 1

① Roof	Asphalt Roof Shingles	Refer to Mission Group Exterior Specifications
② Cable Fences	1 x 4 or 2 x 10 Handle Trims Handle Colour Plus	Refer to Mission Group Exterior Specifications
③ Stone Veneer	Cultured Stone Veneer	Refer to Mission Group Exterior Specifications
④ Wall Shingles	Handle Wall Shingles, 7 Exposure Handle Colour Plus	Refer to Mission Group Exterior Specifications
⑤ Posts / Brackets / Raucos	Handle Whipped Dimensional Lumber Handle Colour Plus	Refer to Mission Group Exterior Specifications

NOTE: Colour Scheme 2 for Building 12

⑥ Windows	Double Clazing Set in Vinyl Frames	Refer to Mission Group Exterior Specifications
⑦ Balcony Railing	Aluminum, Beaded Panel Finish	Refer to Mission Group Exterior Specifications
⑧ Window / Door Trims	Handle Trim	Refer to Mission Group Exterior Specifications
⑨ Wall Siding	Handle Siding, 3 Exposure	Refer to Mission Group Exterior Specifications
⑩ Metal Flashing	Pre-finished Metal	Refer to Mission Group Exterior Specifications

⑪ Entry Door	Insulated Metal Clad, Painted	Refer to Mission Group Exterior Specifications
⑫ Lower Floor Siding	Handle Siding, 6 Exposure	Refer to Mission Group Exterior Specifications
⑬ Gables / R.W.I.	Pre-finished Metal	Refer to Mission Group Exterior Specifications
⑭ Roof Soffit	Aluminum Perforated Soffit	Refer to Mission Group Exterior Specifications
⑮ Belly Band	Handle Trim	Refer to Mission Group Exterior Specifications
⑯ Outside Corner Trim	1x4 Handle Trims, Colour to Match Siding Colour	Refer to Mission Group Exterior Specifications

**SCHEDULE B**  
This forms part of development  
Permit # **NP12-0152** *Law ending NP10-0091*

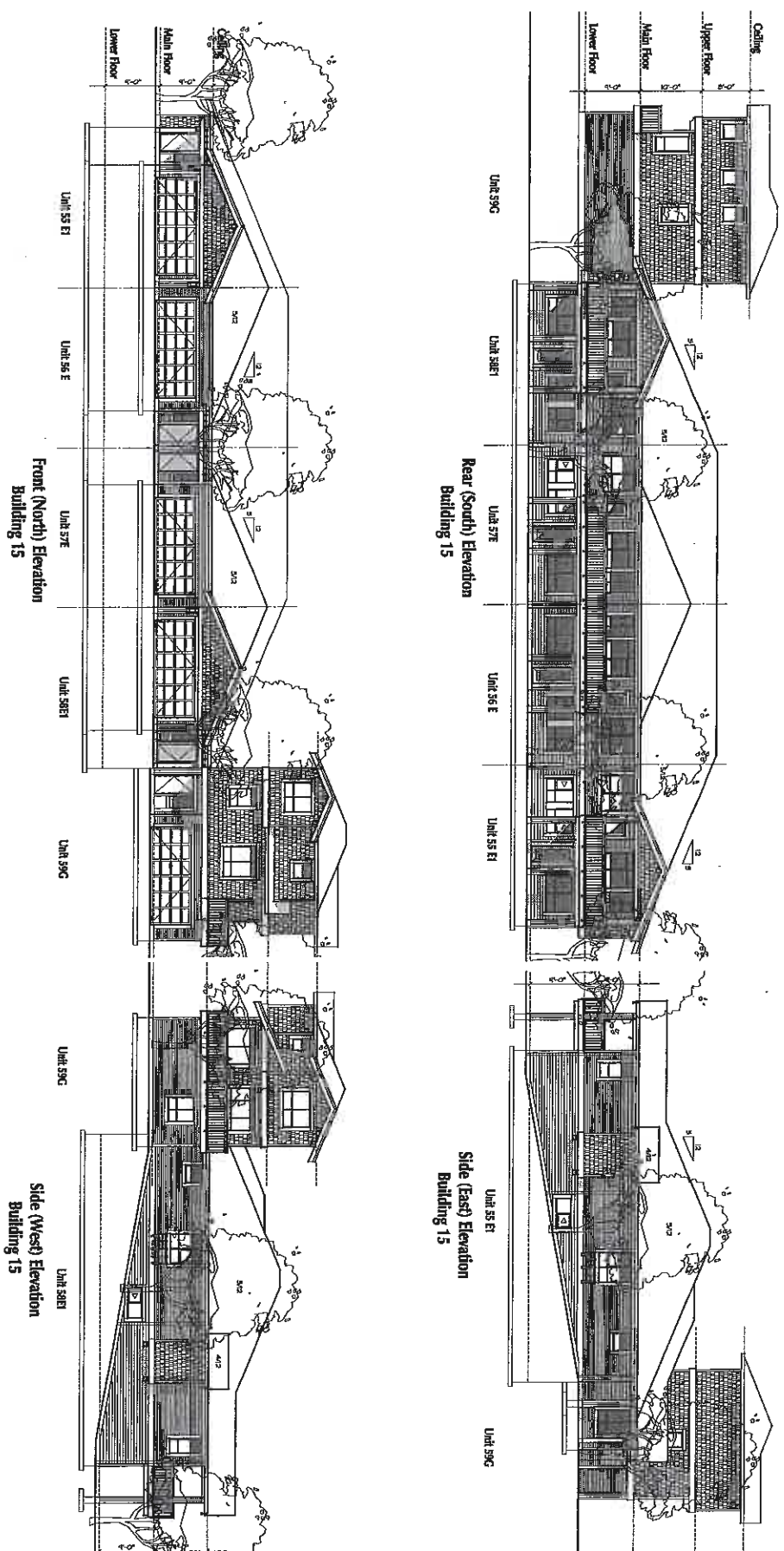
**RAYMOND LITKEMAN**  
28250 Highway 21, Vancouver, B.C. V6N 1W9  
Tel: 604-271-2277 Fax: 604-271-1811  
Cell: 604-271-2277  
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Revised:  
June 06, 2010  
Issued for Development Permit  
August 07, 2010  
Prepared for Development Permit

**Winsome Hill**  
Townhome Community  
Boynton Place,  
Kelowna, B.C.  
for  
Mission Group

Building 11-12-17  
Building Elevations  
August 07, 2010  
1/8" = 1'-0"

**SK-3.23**



**Exterior Finish Legend - Colour Scheme 1**

① Roof	Asphalt Roof Shingles	Refer to Mission Group Exterior Specifications	① Windows	Double Glazing Set in Vinyl Frames	Refer to Mission Group Exterior Specifications		
② Gable Facade	1 x 4 on 2 x 10 Handle Trim, Historic Colour Film	Refer to Mission Group Exterior Specifications	② Balcony Railing	Aluminium, Beaded Enamel Finish	Refer to Mission Group Exterior Specifications		
③ Stone Veneer	Cultured Stone Veneer	Refer to Mission Group Exterior Specifications	② Window / Door Trim	Handle Trim	Refer to Mission Group Exterior Specifications		
④ Wall Shingles	Handle Wall Shingles, 7" Exposure Historic Colour Film	Refer to Mission Group Exterior Specifications	① Wall Siding	Handle Siding, 3" Exposure	Refer to Mission Group Exterior Specifications		
⑤ Pews / Brackets / Braces	Handle Wrought Dimensional Lumber Historic Colour Film	Refer to Mission Group Exterior Specifications	③ Metal Flashing	Pre-finished Metal	Refer to Mission Group Exterior Specifications		
					⑩ Entry Door	Insulated Metal Clad, Painted	Refer to Mission Group Exterior Specifications
					⑩ Lower Floor Siding	Handle Siding, 6" Exposure	Refer to Mission Group Exterior Specifications
					⑩ Cabres / E.W.L.	Pre-finished Metal	Refer to Mission Group Exterior Specifications
					⑩ Roof Soffit	Aluminum Perforated Soffit	Refer to Mission Group Exterior Specifications
					⑩ Balcy Band	Handle Trim	Refer to Mission Group Exterior Specifications
					⑩ Outside Corner Trim	1x4 Handle Trim, Colour to Match Siding Colour	Refer to Mission Group Exterior Specifications

Front (North) Elevation Building 15

Rear (South) Elevation Building 15

Side (East) Elevation Building 15

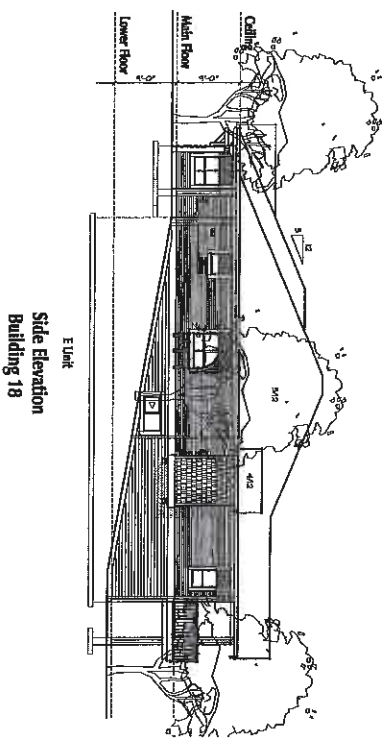
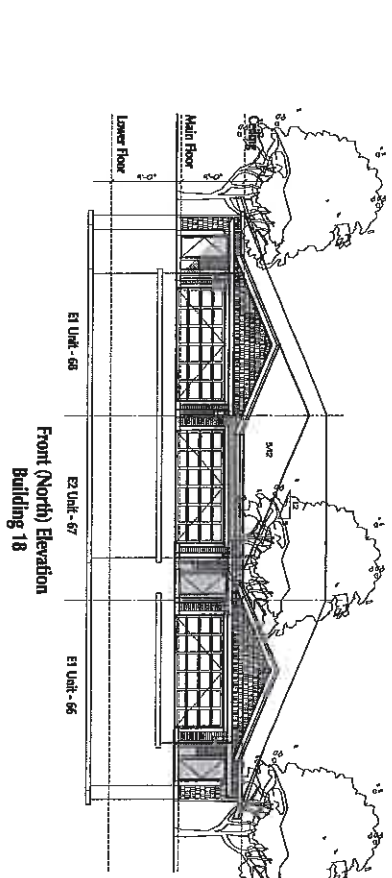
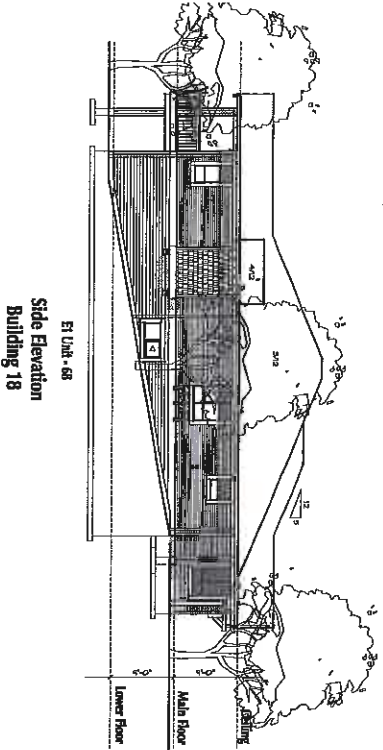
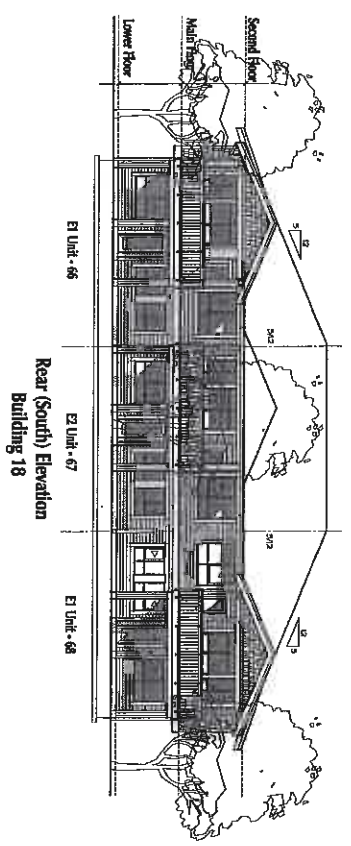
Side (West) Elevation Building 15

**RAMOND LITKEMAN ARCHITECTS INC.**  
 1000 10th Street, Kelowna, BC V1Y 9K7  
 Phone: 250.860.4444 Fax: 250.860.4445  
 Email: ramond@ramondlitkeman.com  
 Project: 1544 Winesome Hill, Mission, BC V2S 1G2  
 Prepared by: J. Lee, M. Lee  
 August 07, 2010  
 Revisited for Development Permit

for  
**Winesome Hill**  
 Townhome Community  
 Bayshore Place,  
 Kelowna, B.C.

Building 15  
 Building Elevations  
 August 07, 2010  
 1/8" = 1'-0"

**SCHEDULE B**  
 This forms part of development  
 Permit # 0912-0152 (amending  
 PP10-0091)



**Exterior Finish Legend - Colour Scheme 2**

① Roof	Asphalt Roof Shingles	Refer to Mission Group Exterior Specifications	③ Windows	Double Clazing Set in Vinyl Frames	Refer to Mission Group Exterior Specifications
② Cable Facets	1 x 4 on 2 x 10 Handle Trims, Handle Colour Plus*	Refer to Mission Group Exterior Specifications	④ Balcony Railings	Aluminum, Related Grained Finish	Refer to Mission Group Exterior Specifications
③ Stone Veneer	Cultural Stone Veneer	Refer to Mission Group Exterior Specifications	⑤ Window / Door Trims	Handle Trim	Refer to Mission Group Exterior Specifications
④ Wall Shingles	Handle Wall Shingles, 7" Exposure Handle Colour Plus*	Refer to Mission Group Exterior Specifications	⑥ Wall Siding	Handle Siding, 3" Exposure	Refer to Mission Group Exterior Specifications
⑤ Posts / Brackets / Braces	Handle Wrapped Dimensional Lumber Handle Colour Plus*	Refer to Mission Group Exterior Specifications	⑦ Metal Flashing	Pre-finished Metal	Refer to Mission Group Exterior Specifications
			⑧ Metal Flashing	Pre-finished Metal	Refer to Mission Group Exterior Specifications
			⑨ Entry Door	Insulated Metal Clad, Painted	Refer to Mission Group Exterior Specifications
			⑩ Lower Floor Siding	Handle Siding, 6" Exposure	Refer to Mission Group Exterior Specifications
			⑪ Cutlery / R/W/L	Pre-finished Metal	Refer to Mission Group Exterior Specifications
			⑫ Roof Soffit	Aluminum Perforated Soffit	Refer to Mission Group Exterior Specifications
			⑬ Belly Band	Handle Trim	Refer to Mission Group Exterior Specifications
			⑭ Outside Corner Trim	1x4 Handle Trim, Colour to Match Siding Colour	Refer to Mission Group Exterior Specifications

**SCHEDULE B**  
 This forms part of development  
 Permit # DP12-0152 (Amending DP10-0091)

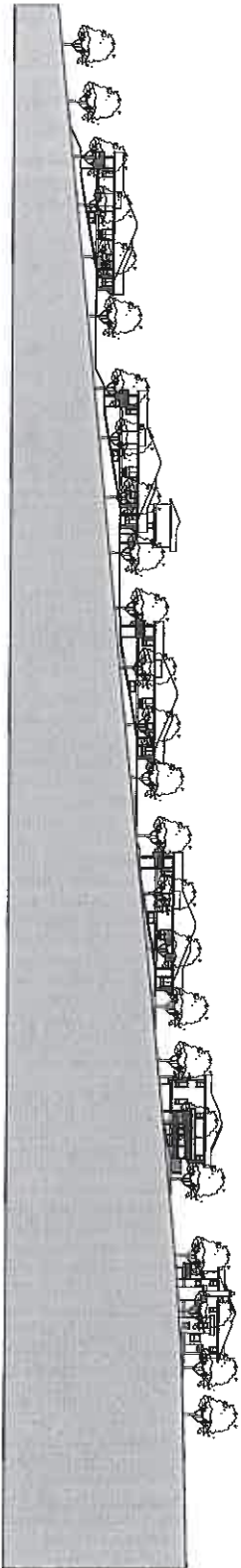
**RAYMOND LETEMAN**  
 ARCHITECT  
 1700 17th Street, West  
 Kelowna, BC V1Y 9V6  
 Tel: 250-860-5555 Fax: 250-860-4487  
 Email: raymond@raymondleteman.com  
 \*Colour Plus refers to the exterior finish specified in the approved development permit. The exterior finish specified in the approved development permit may vary from the exterior finish specified in the approved development permit. The exterior finish specified in the approved development permit is subject to change without notice.

Date: June 05, 2012  
 Issued for Development Permit  
 August 07, 2012  
 Re-issued for Development Permit

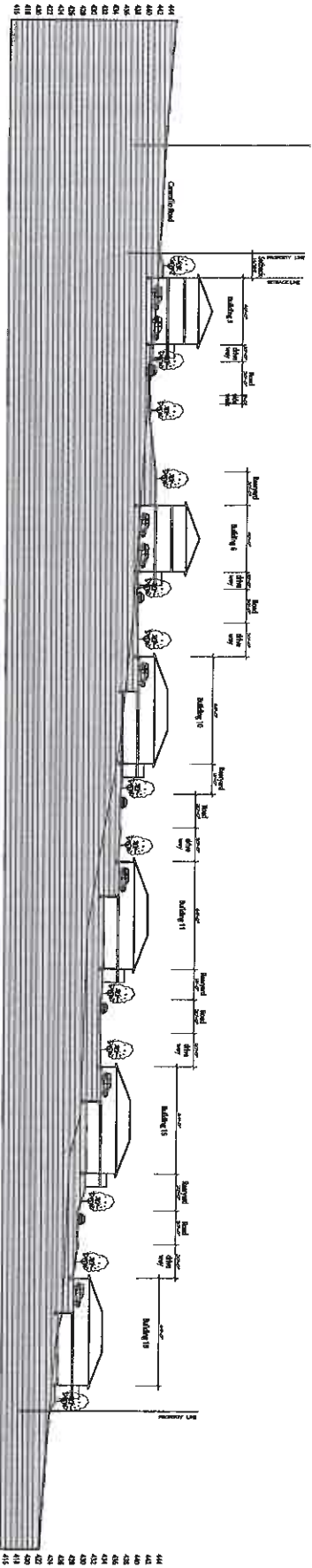
Winsome Hill  
 Townhome Community  
 Bonanza Place,  
 Kelowna, B.C.  
 for  
 Mission Group

Building 18 Building  
 Elevations  
 August 07, 2010  
 1/8" = 1'-0"

SK-3-32



CLIFTON ROAD ELEVATION



SITE SECTION A-A

**SCHEDULE B**  
 This forms part of development  
 Permit # DP12-0152 (DP10-00915)

SK-5.0

**RAMMOND LEIKEMAN**  
 ARCHITECTS  
 100-100 WEST 11TH AVENUE, SUITE 100  
 DENVER, COLORADO 80202  
 TEL: 303.733.1100 FAX: 303.733.1101  
 WWW.RAMMONDLEIKEMAN.COM  
 Design: 2010  
 August 07, 2013  
 Prepared by Development Permit  
 Re-issued by Development Permit

**Winsome Hill**  
 Townhome Community  
 Boynton Place  
 Kelowna, B.C.  
 20  
 Mission Group

Site Section A-A  
 Clifton Rd Elevation  
 AUGUST 07, 2013  
 1" = 4.00'



CARAMILLO RD

Caramillo Road

1 2 3 4  
PLAN 20422

10 PLAN

9 PLAN

8 PLAN

Clifton Road

Boynton Place

Colour  
Scheme  
Layout

**SCHEDULE B**  
This forms part of development  
Permit # DP12-0152 (DP10-0091)

SK-1.0



Site Plan  
August 07, 2012  
1" = 500'

Winsome Hill  
Townhome Community  
Boynton Place  
Kalamona, B.C.  
for  
Mission Group

**PAMONQ LITKEMAN**  
12245 140th St, Vancouver, B.C. V6P 1E7  
Tel: 604.469.2229 Fax: 604.469.2228  
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June 06, 2010  
Issued for Development Permit  
August 07, 2012  
Revised for Development Permit

COLOUR SCHEME 1

*Winsome Hill*



**Upper Siding**

Hardie Pre-Finished Colour  
"Woodstock Brown" JH30-30



**Lower Siding**

Hardie Pre-Finished Colour  
"Monterey Taupe" JH40-20



**Accent Colour**

Hardie Custom Colour (BM)  
HC139 "Salisbury Green"



**Trim**

Hardie Pre-Finished Colour  
"Artic White"



**Gutters/Soffits/Fascia**

Gentek Aluminum  
Bright White 431

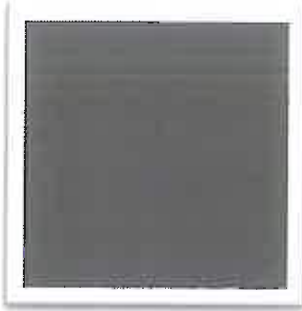
SCHEDULE 2  
This forms part of development  
Permit # DP12-0152 (amended)  
DP12-0091



MISSION GROUP

COLOUR SCHEME 2

*Winsome Hill*



**Upper Siding**

Hardie Pre-Finished Colour  
"Iron Grey" JH40-30



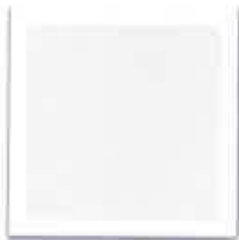
**Lower Siding**

Hardie Pre-Finished Colour  
"Timber Bark" JH10-20



**Accent Colour**

Hardie Custom Colour (BM)  
HC-71 "Hashbrouck Brown"



**Trims**

Hardie Pre-Finished Colour  
"Artic White"

Hardie Custom Colour (BM)  
#2131-20 Midnight



**Gutters/Soffits/Fascia**

Gentek Aluminum  
Bright White 431

SCHEDULE B  
This forms part of development  
Permit # DP12-2152 (amending

DP10-0091)



COLOUR SCHEME 3

*Winsome Hill*



**Upper Siding**

Hardie Pre-Finished Colour  
"Sandstone Beige JH 30-20"



**Lower Siding**

Hardie Pre-Finished Colour  
"Timber Bark" JH 40-30



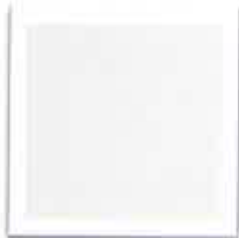
**Accent Colour**

Cedar Shingle  
Cetol Log Cedar #077



**Trims**

Hardie Custom Colour (BM)  
"Willow" CC-542



Hardie Pre-Finished Colour  
"Artic White"



**Gutters/Soffits/Fascia**

Gentek Aluminum  
Commercial Brown

SCHEDULE B  
This forms part of development  
Permit # DPR-2152 (amending DP10-0041)

